



shoreham design guidelines

prepared for the mornington peninsula shire

by hansen partnership pty ltd

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1 introduction - part 2

Stage 1 of the Shoreham Village Core – design assessment and design guidelines revealed Shoreham's character, with rural and seaside influences based on its location and its role as a holiday destination.

These guidelines form part 2 of a study of Shoreham's built and natural environment, focussed on the village's core area.

The purpose of part two of the study is to:

- *Develop detailed guidelines and performance standards which emphasise good design to protect and enhance those elements which are significant to the character of Shoreham*

The resulting design guidance is intended to assist in a sensitive approach to new development so that it respects the character intrinsic to the village.

2 vision for the village core

The Shoreham village core includes a substantial public recreation reserve flanked by commercial sites, interspersed with residences. The area covered by this study is indicated in figure 1. The land is bounded by Byrnes Road encompassing the

business zoned land, recreation areas and residential lots along the south side of Byrnes Road.

The vision for Shoreham Village core is for an area where new development sensitively reflects the moderate scale, and simple building forms of the traditional village in a contemporary and innovative way, within a strong landscape setting.

Key character elements are identified with design objectives and guidelines proposed to ensure the maintenance of Shoreham's existing character. Potential threats and features that should be avoided to protect Shoreham's village core are also identified. The character elements are:

- scale
- form
- materials
- setbacks
- landscape and fencing
- public real and connections

In addition to applying these guidelines to private development, they may be used to inform public domain actions to strengthen and unify the village core.

3 background

Shoreham's village character is informal with abundant established landscape, a mixture of housing, community facilities and services. The core area features two commercial sites which are the general store and the post office, which also function as community meeting places. While the village is located by the sea, its main frontage is to Byrnes Road, and the significant landscape setting shields direct views to the sea. The village is also elevated with a steep escarpment between the village and the foreshore.

Future development of the village presents some challenges. Currently the commercial properties are separated by residences and a recreation reserve. There is little room for commercial expansion and anecdotally, there is little desire for any change from the community.



shoreham village
study area



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hansen partnership pty ltd
melbourne | sydney | vietnam
level 8 136 exhibition st
melbourne vic 3000
t 61 3 9654 8844 f 61 3 9654 8088
e info@hansen-online.com.au
w hansen-online.com.au

study area- Shoreham village core

4 scale

4.1 issue

The existing building scale within Shoreham village core is consistently single storey. The relative low scale allows landscape elements to prevail. Commercial buildings could incorporate a slight increase in building scale. This would need to be tempered with maintaining key visual connections with the surrounding landscape.

4.2 design objectives

- To ensure a low scale of development within the village core area acknowledging the impact of slope within the village core.
- To maintain the low scale development, by limiting the height of buildings to below the existing tree canopy.
- To protect the visual connections with the surrounding landscape by limiting the scale of development.



Suitably scaled commercial development for the village core area

4.3 guidelines

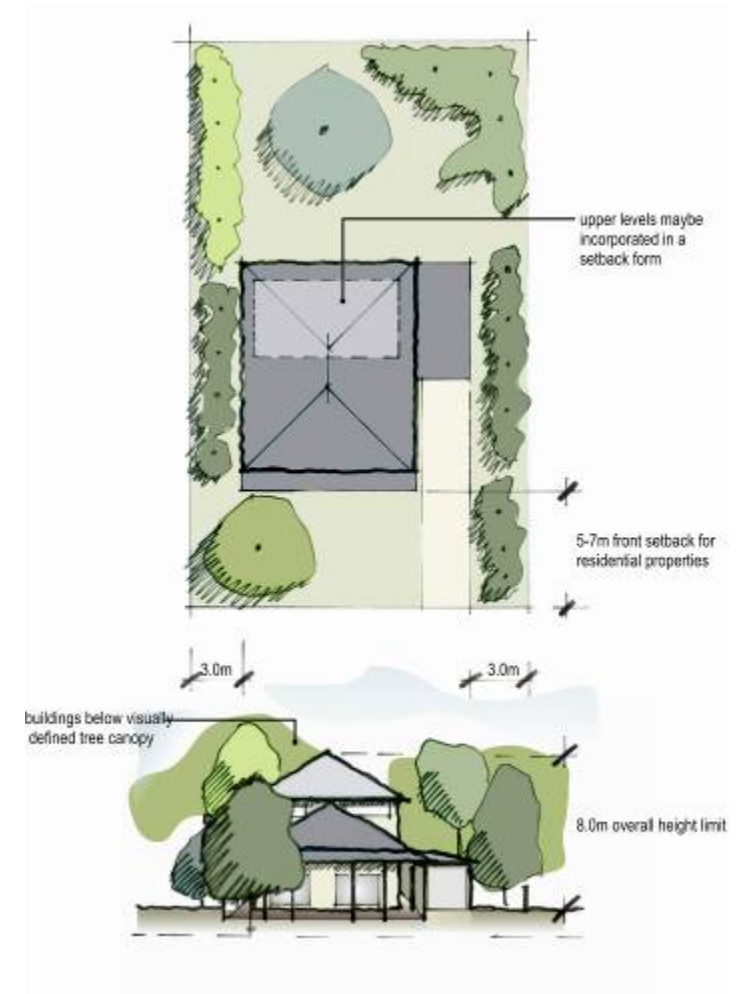
Guidelines to achieve the building scale objectives:

- New development should not exceed a height limit of 8m above natural ground level
- Allow attic style upper levels to limit mass of second levels.
- Maintain and reinforce landscaping as dominant element in streetscape.

4.4 threats

Threats which should be avoided or limited:

- Development above 2 storeys prohibited.
- Development that compromises visual connections to the surrounding landscape due to its scale (height)



5 form

5.1 issue

Commercial developments within the village core have historically been modest buildings and often within residential type buildings. As redevelopment occurs it is important for new commercial buildings to be responsive to the existing built form within the core area, utilising simple geometry and roof forms and adopt similar proportions; maintaining the simple rural coastal style typical of the area.

5.2 design objectives

- To ensure new buildings and extensions respond to the rural/coastal character, blend in with the existing character of the area and sensitively interpret the traditional building massing, proportion and roofing style.
- To encourage the low slung, pitched roof forms that form the dominant roof style, and allow other pitched roof forms.
- To promote building designs or extensions which take into account the natural features of a site, the landscape/ coastal context and any sensitivity associated with landscape/coastal environment.

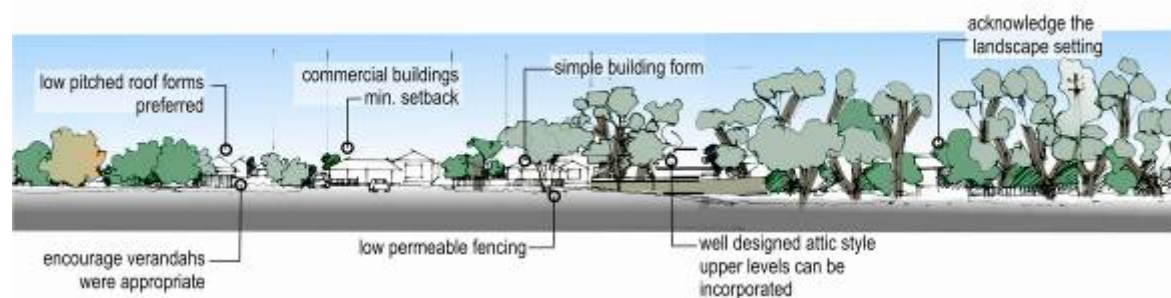
- To encourage new development to respect existing open view corridors from streets, public places and private properties, to the bay and rural hinterland.
- To ensure new buildings or additions respect the character of any existing building on the site.
- To incorporate where possible the use of verandahs and substantial eaves.
- To encourage frontages to be designed to enable activity and passive surveillance of the public realm.
- To ensure carports and garages are designed to the side and rear of existing buildings and integrated into the overall building, with regard to roof shape, wall and roofing materials.



single storey, multiple pitched roof, verandah, set in landscaped surrounds.



sheer side interface, minimal activity at ground level, garage dominates frontage.





5.3 guidelines

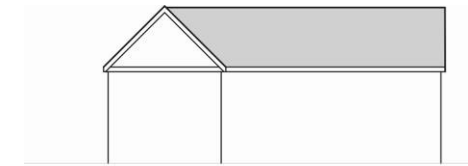
Guidelines to achieve the building form objectives:

- Use pitched roofs (including, multiple pitches, hipped, gabled, skillion roof forms).
- Discourage flat roof forms.
- Encourage breaks in the building form to minimise the impact of building bulk on the streetscape and views to the surrounding landscape along streets and beside and above the building form.
- Encourage side elevations of commercial and residential buildings to be well articulated.
- Encourage contemporary coastal or rural town design themes including open decks.
- Adopt innovative building design techniques and materials that reduce energy use and are responsive to the harsh coastal conditions.
- Verandahs should be in a simple style and be linked to the architecture style of the building.
- Garages and carports should be designed in a similar style to the main building. Garages/carports should be setback from the main frontage a minimum of 1.5m.

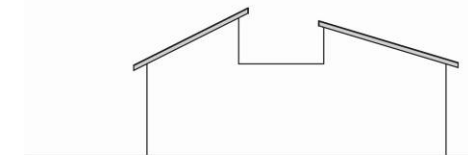
5.4 threats

Threats which should be avoided or limited:

- Irregular roof forms.
- Long continuous building forms presenting as a “wall of development” from boundary to boundary, especially at the sides of buildings.
- Overly complex architecture displaying a mixture of styles.
- Complex roofing configurations.
- Neo-Georgian or other contemporary domestic urban housing stock.
- Flat roof forms.
- Garages and car parking areas that dominate the front setback of residential dwellings.



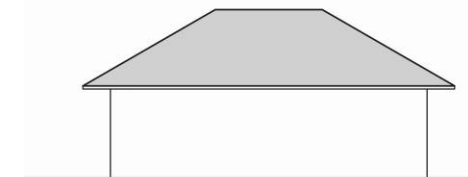
gabled



split skillion



skillion



hipped

Suitable roof forms for commercial and residential development

6 materials

6.1 issue

The natural bushland setting of Shoreham provides design cues for appropriate building materials. Development is encouraged to be contemporary whilst demonstrating the use of a palette of materials and finishes existing in the built environment to achieve a streetscape 'fit' within the context of the village core.

6.2 design objectives

- To promote a palette of materials and finishes that is sympathetic to the rural/ coastal environment.
- To encourage the use of wood/ weatherboards and corrugated iron in buildings within the village core as prevails currently.
- To protect the simple village aesthetic typical of Shoreham.
- To ensure the colour palette of buildings is muted to allow vegetation to dominate the streetscape environment.



6.3 guidelines

Guidelines to achieve the building materials objectives:

- Select material palette from cues within the existing urban environment of the village core including weatherboard and timber.
- Use consistent materials and colours and treatment and configuration.
- Utilise building materials as seen locally in an innovative manner, including the sensitive use of horizontal weatherboard cladding, light tone rendered brickwork, colourbond roofs, timber and stainless steel verandahs, doors and windows and painted finishes.

6.4 threats

Threats which should be avoided or limited:

- High proportions of glassed walls, and glazed balconies, particularly to western elevations.
- Large expanses of unarticulated rendered walls.
- Terracotta and other ceramic roofing tiles (Slate is acceptable).



7 setbacks

7.1 issue

Currently commercial development has '0' setbacks at the frontage on the two commercial sites. This siting is typical in commercial buildings, unlike more landscaped residences with greater setbacks. There is little provision of resting places and seating areas within the public realm and subsequently this infrastructure could be provided within the front setbacks of commercial sites. Currently the commercial properties have a low quality/amenity public interface, and this could be improved in new development on these sites.

7.2 design objectives

- To differentiate between commercial and residential buildings through the use of front setbacks.
- To promote a layout that minimises the visual intrusion of buildings or any other element into the natural bushland setting of the village core.
- To ensure that the siting of buildings or additions are consistent in terms of location and relationships to existing buildings on the site or associated adjacent buildings.

commercial buildings

- Maintain a consistent minimal front setback to the frontage of commercial buildings, while improving design for pedestrian movement and circulation. Any predominantly blank walls should be sufficiently setback to provide substantial landscaping and should not face street frontages.
- To consider resting and community gathering places within the frontage and around commercial development.

residential buildings

- To provide a site layout that results in a high quality of living for occupants of the site and protects the amenity of occupants of adjoining dwellings.
- To protect existing native vegetation and promote a site layout that minimises the need to remove vegetation.
- To provide setbacks that maintains the landscape setting of the core area.



7.3 guidelines

Guidelines to achieve the building form objectives:

- Limit front setbacks of commercial buildings to between zero and approximately 3m.
- Encourage generous landscaped front setbacks for residential dwellings of approximately 7m.
- Provide seating and outdoor dining areas within front setback of commercial sites to preserve public domain spaces for movement and circulation.
- Provide north facing indoor/outdoor living areas where possible to maximise solar access.
- Ensure buildings establish an active frontage to the street and a street address.
- Ensure a residential building is sited to minimise views of the house from the street or from other public spaces.
- Ensure minimum side setbacks of 2.0m on at least one side to create the opportunity for landscaping in between houses/buildings.

7.4 threats

Threats which should be avoided or limited:

- Setbacks to commercial buildings <3m.
- Setbacks to residential buildings >5-7m
- Residential dwellings set close to the street (<4m)
- Insufficient side setbacks to establish canopy vegetation (less than 2m).



expanded general store incorporating seating and pedestrian movement within frontage



residential setback with adequate space to establish garden setting

8 landscape and fencing

8.1 issue

A dominant characteristic of the village core area is its landscape character. Informal landscaping within the front and side setback of residential properties and within the public realm contribute to the bushland setting of the village core.

8.2 design objectives

- To recognise the important streetscape role of landscaped setbacks to front and side of buildings as dominant character elements in the village core.
- To ensure adequate areas are provided for landscaping/permeable areas in new development. with sufficient space to avoid long term maintenance issues
- To promote the retention of existing landscape and canopy trees visible from the street.
- To design front fences which compliment the design of the whole building.
- To encourage fencing at the front of the site that relates to adjoining fences and allows views to the building and landscape and allows a degree of visual transparency

8.3 guidelines

The following guidelines are set out to achieve landscaping and fencing objectives:

- Retain existing contributory vegetation on site that is visible from the street, other public areas or adjoining properties wherever possible.
- The layout of gardens should enhance the scale, form and geometry of the building design. Species should relate to the existing vegetation and blend with the existing formal or exotic planting of the village core.
- Maximise permeable surfaces within the frontage to 60% min.
- Fences should be semi-transparent, be less than 1.2m high and use natural colours and materials.
- Provide landscaping of side and rear boundaries in proportion to the scale of the proposed building.
- Carry out a landscape plan by a trained landscape practitioner with all development applications.

8.4 threats

Threats which should be avoided or limited:

- Clearing of vegetation from a development site.



The height and materials chosen for this fence result in a poor addition to the streetscape environment



Low permeable fences to frontage are preferred



retain existing landscape and canopy trees visible from the streetscape

- Excessive driveway widths and large areas of hard paved areas within the building frontages, eg driveways wider than 3m.
- Buildings which are intrusive and lack a landscaped setting.



9 public realm and connections

9.1 issues

The public areas include the pathways/roadways, the community hall and Shoreham Tennis Club. The layout of the centre is arranged around a village green. This layout promotes interaction between recreational and commercial uses. Notwithstanding the existing structure, the commercial core could be strengthened through a series of actions undertaken in the public realm. This could include infrastructure improvements or development on key sites being configured to enhance the public realm.

9.2 design objectives

- To enhance the quality of public spaces while maintaining the informal setting of the village core.
- To promote greater use of the recreation area, encompassing the community hall and tennis club, as the village centre and focus activity to this area.
- To relate development positively to the 'village green'.
- To strengthen pedestrian connections between commercially zoned land and the village centre.

- To define gateways into the village core through landscaping and signature building elements.
- To provide defined public resting and gathering places within the village core.
- To maintain the generous landscape elements within the public realm.

9.3 actions

Actions to strengthen the village core and enhance connections:

- Provide designated vehicle parking in the village core around activity generating land uses within a landscape setting.
- Improve pedestrian connections between commercial uses and the public use zone
- Maintain the informal character of the footpaths and associated planting.
- Investigate opportunities for seating and gathering places within the public realm
- Mark gateways into the village core with landscape elements and signage.
- Undertake a detailed landscape plan for the public use zone and pedestrian environment of Byrnes Road.
- Formalise bus stops and mobile library area to incorporate seating and amenity improvements.



pedestrian space could be improved



provide more resting and gathering spaces

