

# Flinders Village Centre

Design Guidelines For New Development



MPSC 2010

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## About this Guide

The aim of this Guide is to ensure that new development protects and enhances the character of Flinders village centre. It takes the existing character of the centre (and to a degree that of the larger township) as a basis to guide future development. It sets down principles which, when followed, will maintain and reinforce the special qualities of the village centre. It encourages new development in contemporary styles that respect the spirit and intent of this Guide.

The purpose of the Guide is to give:

- Building owners, project developers, and their designers a set of design principles which when applied through their proposals can complement, reinforce, and enhance the character of the village centre;
- Council officers clear and justifiable standards against which they can assess the merits of proposals;
- The Flinders community an objective understanding of the character of their village centre against which they may assess the impact of future developments.

The Mornington Peninsula Shire Council is committed to protecting the unique character and sense of place of individual towns through the Mornington Peninsula Planning Scheme. Ensuring that new development is sympathetic to town character is an important objective of the planning scheme. In the case of Flinders, the arguments for requiring new development to respect established town character include:

- Existing character is frequently cited by residents as contributing to their sense of community and what Flinders represents to them;
- The village centre includes numerous examples of good quality traditional building design and landscaping;
- Contemporary development models, being car based, are generally less satisfactory in terms of creating an environmentally sound, attractive and convenient town environment;
- The economic vitality of Flinders has for many years been based on tourism, the main attraction of the town being its “village character”.

This Guide builds upon the Flinders Character and Design Guidelines, produced by the Flinders and District Residents and Ratepayers Association with the assistance of Mornington Peninsula Shire Council.

The Flinders Character and Design Guidelines set out positive directions for the future of both the village centre and the surrounding rural area.

## Guide methodology

In this Guide, the Flinders village centre is seen as a cultural landscape which has been created over time as people interact with their environment. The resulting landscape – or townscape – provides Flinders’ residents with a highly meaningful sense of place and community. This sense of meaning and belonging is expressed in the buildings, places, physical relationships and visual qualities of the village centre. All of these constitute its ‘character’.

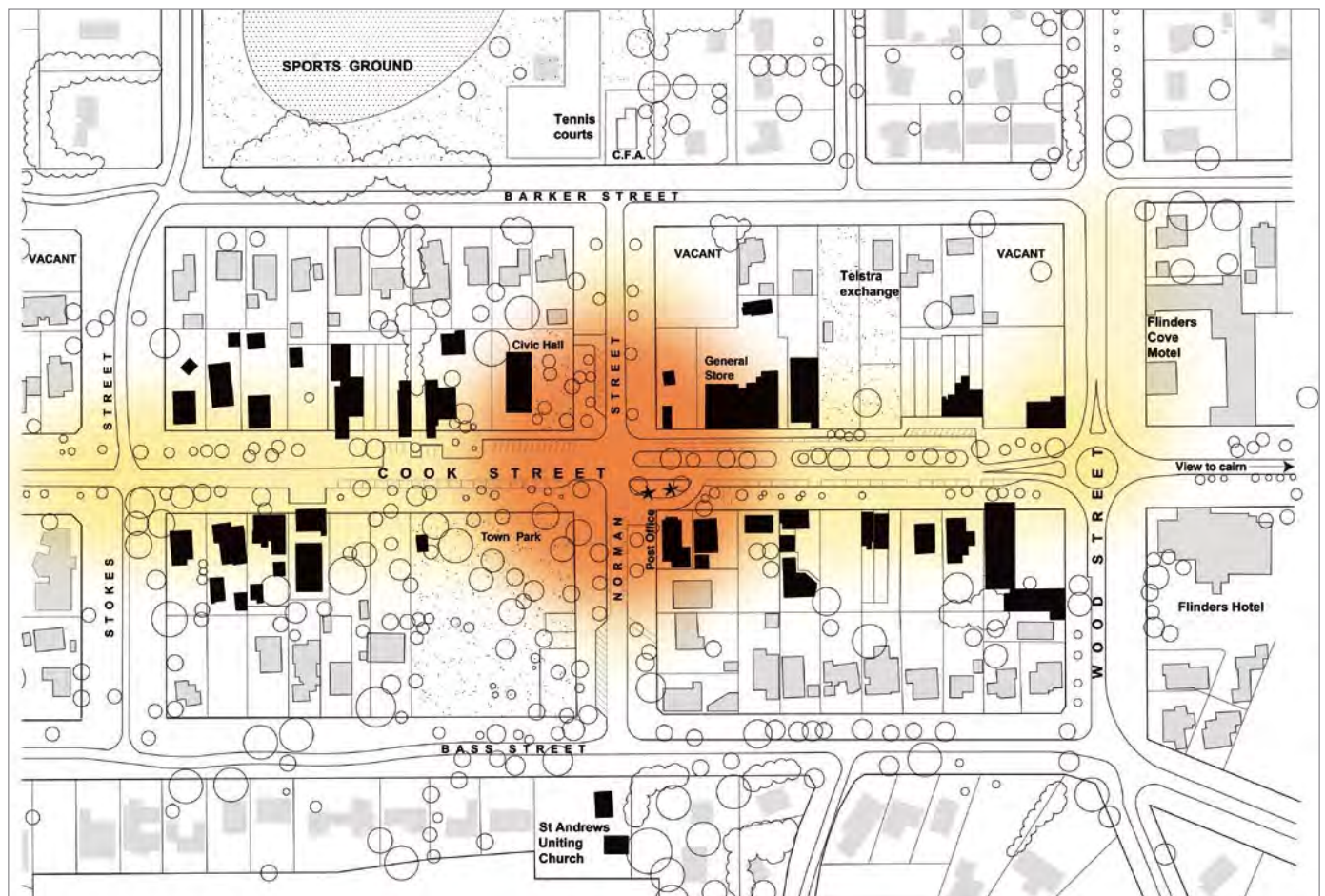
The character of Flinders village centre has been assessed by two methods, complemented by community input. A desk-top review of historical and other information assessed the centre’s natural context, social and cultural development and land uses. A visual survey by experienced observers assessed built form and open space characteristics, physical relationships and views, and the role of vegetation.

At several stages, professional assessment was tested and compared against community attitudes through informal meetings, personal interviews, and feedback on draft reports. This provided insight into the meaning and significance of the village centre to the residents of Flinders.

The research, analysis and community feedback led to the Character Statement, which forms the basis of this Guide. Character themes were then drawn from the Character Statement. Each design guideline supports one of the character themes. By adhering to the guidelines, new developments will support the character themes, and reinforce town character.



## Focus of the Guide



The primary focus of this Guide is the commercial section of Cook Street, including both the zoned business area between Norman and Wood Streets, and the former business area between Stokes and Norman Streets. It recognises that commercial development has taken place outside these areas, in particular the hotel and motel east of Wood Street. Many of the principles aimed at retaining (and building upon) the character of Flinders Village in this Guide should apply to the extended commercial area and any other commercial development fronting major streets and approaches to Flinders.

## Character statement

The Flinders village centre has many of the qualities typical of small, isolated, rural Australian towns. Its development has been shaped by a number of influences, some typical and some unique to Flinders.

The relative remoteness of Flinders from other urban centres has been a significant influence on the town's development. The restricted provision of services such as town water, electricity (historically) and sewerage, has limited growth and resulted in low development densities and substantial areas of undeveloped land even in the main street. It has also reinforced the role of Flinders as the community centre and source of provisions for the local region. In common with other towns on the eastern edge of the Mornington Peninsula, there is a strong community sense of self-sufficiency and difference from the more populated Port Phillip or western seaboard of the Peninsula.

The mild climate, reasonable quality soils, moderate slopes and protection from southern weather patterns have encouraged the development of public parks and private residential gardens. The relative availability of timber compared to other materials and the variable and reactive nature of local soils encouraged the construction of simple timber buildings.

The establishment of Flinders followed a pattern typical of many Australian towns, with initial private settlement (based on exploitation of local resources such as fish and timber) followed by Government survey and land sales in the 1860s. The first buildings were fishermen's

huts located on the sheltered beach and a store in the present village centre. These origins established Flinders as a sheltered living place and a provider of essential goods. Government planning has given the village centre a Colonial grid plan with generous road reservations and public reserves. The regular allotment pattern is typical and originally consisted of deep narrow blocks between streets, with larger corner allotments. In common with other Australian towns, the wide streets and the need for shelter and shade encouraged the use of verandahs on both shops and residences.

In 1869 Flinders gained a unique asset in the form of the undersea telegraph cable station in 1869. This encouraged a period of growth and the establishment of community facilities - school, Post office, Mechanics Institute – and businesses such as a hotel and bakery. Houses became more substantial but generally followed the model of simple, verandah-ed timber bungalows set in landscaped gardens.

The prevailing architectural styles of the period encouraged picturesque forms and modest levels of timber decoration and detail. Substantial character trees were planted in private gardens and road reserves. The building forms with their high hipped and gable roofs, sheltering verandahs and enclosed gardens, courtyards and decks establish the village as a protected place. Commercial buildings generally front the property boundary and have verandahs and recessed entries and verandahs. A number of large guesthouses were established to cater for a growing holiday market.

1. Early Flinders buildings like Bullocks Store were of simple timber construction.
2. The foreshore near the Flinders Jetty provided a sheltered location for early fishermen's huts.
3. A Historical photograph showing the now demolished Flinders undersea telegraph cable station.
4. An 1870's plan showing the isolation of Flinders at the extremity of the Mornington Peninsula.



## Character statement

The closure of the cable station in 1936 and general rural depression in the interwar years meant that there was little change in the village centre during the mid 20th century. Some changes to civic institutions occurred such as the removal of the school whose site became the town park. The Mechanics Institute was demolished and became the site of the Civic Hall in 1969. The low level of economic activity meant that land remained undeveloped in the village centre, and although some unused buildings were demolished, the older commercial area between Norman and Stokes Streets remained substantially intact.

In response to metropolitan population growth, car ownership, general affluence and tourism in the post-WW2 period, a new motel and shops were constructed at the Wood Street end of the village centre. Some of these new buildings follow prevailing international architectural fashions and have a different relationship to the street from that of the earlier buildings. Typically, this means that their frontages address parking areas rather than the street and footpath. Some newer developments have attempted to copy the roof forms and verandahs of traditional buildings. The growth of regional tourism in recent years has seen the conversion of residences and shops into cafes and galleries. There has been a trend for allotments in the business area to be subdivided to create additional commercial frontages.

Arriving west along Cook Street, the town centre is gently revealed. There is no sudden break separating the green landscape from the town's buildings. Looking down Cook street, one sees a profusion of trees and other greenery, and in the distance a monument to Bass and Flinders.

Walking along the street's sidewalks, buildings and their verandahs appear staggered so that at times one walks under the verandahs and at other times in front of them. This discontinuity increases the sense of passing sequences of individual buildings and yards. Many buildings have generous setbacks and gardens.

Wide front and side yards add to the sense that the centre is a very close friend with the countryside – that the countryside permeates the centre. With a few exceptions, buildings do not encroach upon one another and the gaps provide glimpses of distant trees and even the sea.

When asked to describe their village, local people are likely to use words like: 'lovely little town'; 'quaint village'; 'unspoilt'; 'sleepy'; 'like a country town'; 'not urbanised'. They like its simplicity and the way in which vegetation is a dominant element in the streetscape and the visual connection between the centre and surrounding town. They find it meaningful as a place to gather and shop in a sheltered environment rich in social symbols and memories.

1. Cook Street in the 1930's. 2. The Mechanics Institute was replaced with a modern structure in the late 1969. 3. A typical Flinders guesthouse of the early 20th century (the 'stonework' is actually painted wood). 4. The Post Office with its picturesque form and landscape setting, is central to the life of the village. 5. Development in the second half of the 20th Century has followed prevailing international fashions rather than local precedents. 6. Low level of development revealed in a 1960's aerial photograph.



## Character themes and the Guide

A number of character themes have been drawn from the Character Statement. Character themes express key aspects of the village centre's character, they tend to recur over time, they can be 'read' in the forms and spaces of the village, and they are supported by the statements of local inhabitants to whom they are meaningful. The character themes, which form the basis of the Guide, are:

- A sheltered Place
- Gathering and community
- A place to visit
- Simplicity
- A town in the landscape

For each of these themes, the Guide provides a number of design guidelines. Each guideline sets out the principles and criteria, by which new development can complement, reinforce and enhance the character theme.

'Principles' are the general ideas that form the basis of the guidelines. 'Performance Criteria' are standards which, if met, should satisfy the guidelines, although there is still the need to consider the design outcome as a whole. Designers may propose alternative approaches which will be tested against the principles and the intent of the Guide as a whole. The exception to this approach relates to the maximum building height and upper storey setback requirements which are regarded as mandatory standards, necessary to provide certainty and consistency in the built form.

Grouped under the 5 themes, these guidelines provide guidance on a number of key design issues: Development density, Height, Architectural detailing, Materials, Landscape views, Vegetation, Topography, Outdoor spaces, Verandahs and entries, Roof forms, Gathering points, Active frontages, Sympathetic streetscapes, Signage, Colour, Adaptive re-use of buildings.

There is no hierarchy in the arrangement of these guidelines, all of which are important in enhancing the character of Flinders Village centre.

## General principles for designers

### Architectural design

It is understood that architects and building designers will have preferred design approaches, which may include historical or contemporary styles. This Guide does not prescribe a preferred architectural design style; however the design approach must maintain and enhance the character of the village.

Designers should be careful to ensure that:

- Historical styles are typical of a small Australian town setting of the approximate period 1880s – 1930s;
- Detailing is not 'overdone', creating an overly elaborate façade;
- Contemporary design has a sufficient degree of informality appropriate to a village setting;
- The architectural style does not evoke places of different character such as highly urbanised places.

Examples of architectural styles that have an appropriate degree of informality for a village setting include:

- Late 19th – early 20th century Arts & Crafts, Federation and Edwardian styles;
- Inter-war bungalow styles;
- 20th century regional styles evocative of coastal settings, such as light-weight tropical design, and post-war 'Peninsula House' design.

Examples of architectural styles which evoke places of different character to a village setting include:

- Neo-classical and neo-Georgian architecture;
- 20th century International modernism, including Brutalism, Functionalism, and Hi-tech design;
- Styles associated with urban and exotic settings, such as Spanish Mission or Art Deco architecture.



Elaborate architectural styles at odds with the history and context of Flinders should not be used



Contemporary design (right) can successfully re-interpret traditional forms

Some architectural styles have a degree of informality suited to the character of Flinders' village centre.



Some architectural styles are more associated with exotic or urban settings and should be avoided.

This includes tilt slab construction, designs with large areas of reflective glazing, and/or no defined eave line or roof form.



### The village as a model for contemporary design solutions

Flinders has many subtle buildings and spaces of great character. Designers are encouraged to draw upon these examples in their designs. This is not the same as historical stylism, but rather the use of archetypal forms, spaces and arrangements as inspiration. Examples include:

- Striking combinations of plantings and built form;
- Gradations of spaces from the public to the private realm;
- Fragmented built form and picturesque roof lines.



1. Example of a striking tree which frames and complements built form.
2. A gateway into a semi-private realm between the public street and the building.
3. A series of semi-detached buildings with picturesque roof lines mimics the effect of traditional village architecture.



## Landscape design

The character of Flinders Village is expressed in its buildings, open spaces, and use of vegetation. Together, these elements constitute the landscape – or townscape – of the village.

Flinders residents identify strongly with the townscape of the village centre. They value the extent and qualities of particular plantings and the way that vegetation dominates the streetscape. The visual connection between nearby and distant landscape elements reinforces the dominant influence of topography and vegetation on village character.

While much of this landscape lies outside the control of individual property owners, they have a responsibility to ensure that their development does not compromise the general landscape qualities of the village. Each individual development is therefore part of a whole. By adopting the guidelines in this Guide, developers and designers can ensure that new developments contribute to the greater village townscape by respecting its underlying character.

Designers should be careful to ensure that:

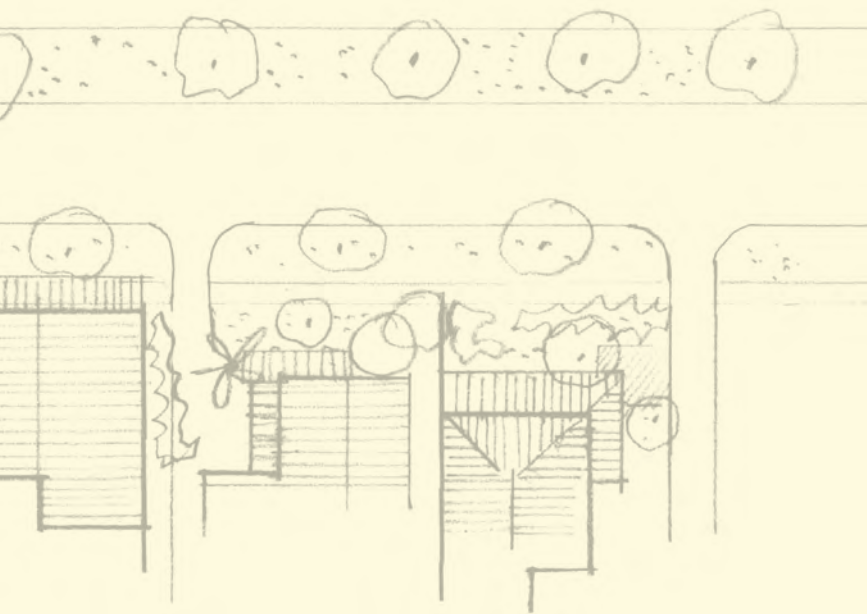
- Their landscape designs incorporate generous amounts of vegetation, including substantial trees
- That where buildings are set back from the street, screening vegetation is provided, including substantial trees
- That landscaping is designed in an informal style
- That locally indigenous species are used where possible
- That buildings and landscape features do not obstruct important views, particularly of distant tree lines, the coast, and the Bass and Flinders cairn
- That on site landscaping, and contributions to public landscaping, match and complement the quality of existing street and median tree plantings
- That distinctive plantings that frame or complement built form are retained or incorporated in their designs

Designers should avoid:

- Landscaping styles that are highly formal, minimalist, or evocative of places of very different character such as urbanised places



1. There is no clear break between Flinders and the surrounding countryside.
2. Cook Street has a pleasing sense of fragmentation and variety, which new development should strive to emulate.
3. Informal vegetation dominates the buildings in the older parts of the village centre.
4. The slope of Cook Street down towards Wood Street creates opportunities for views of the coast which should be maintained.
5. The use of canopy trees with distinct trunks is important to facilitate views across Cook Street.
6. While the species is not necessarily encouraged, the palm trees outside the Post Office are a good example of striking plantings framing and complementing built form.
7. Frequently planted as community projects, evergreen street trees are valued by the residents.



# 1

## Simplicity

Remoteness and climate have produced a simple, usually timber, building type in Flinders. While building technologies may change, the aesthetic simplicity of these early buildings can still be captured in new designs.

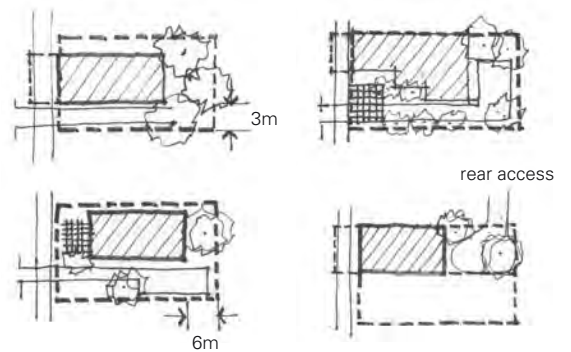
# 1A

## Development density: limit site coverage to maximise landscaping and maintain separation between buildings

### Principles:

- The simple, low-key qualities of the village are largely due to the detached residential character of its buildings and yards
- Site coverage should be managed so as to create the impression of a series of independent buildings in the streetscape
- Buildings on consolidated allotments should express the original allotment pattern in their façades and/or form
- Developments should be fragmented into more than one form to create landscaping opportunities and reduce visual bulk

*Note: Boundary to boundary development may be allowed where there is rear car access, or to enable economic use of sites where allotments are narrow (for example, subdivided sites).*



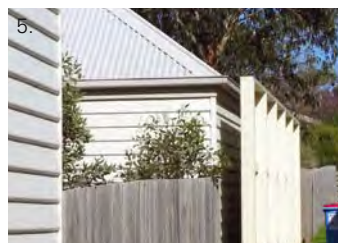
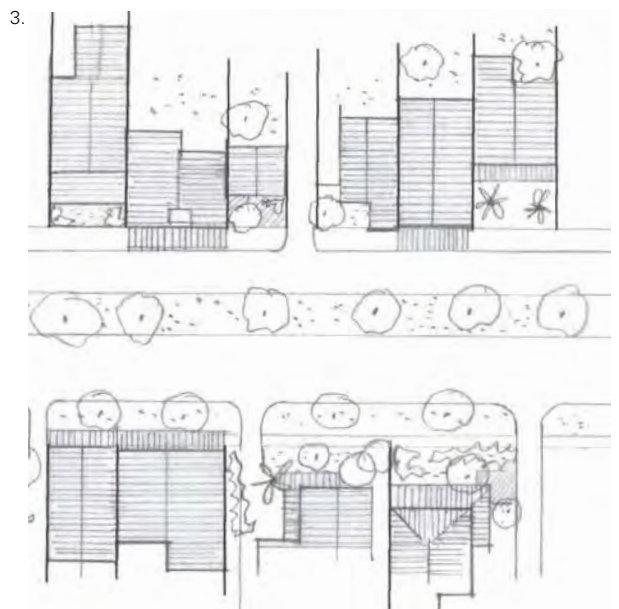
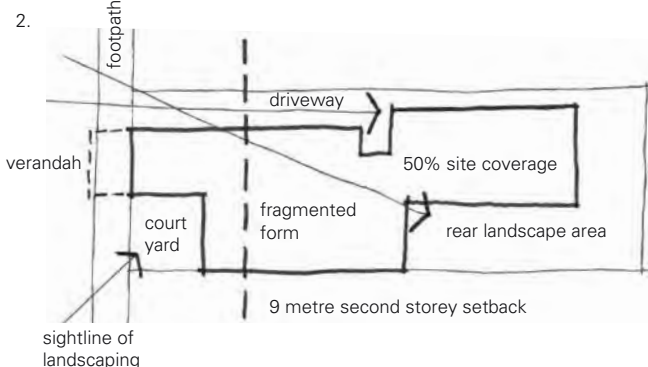
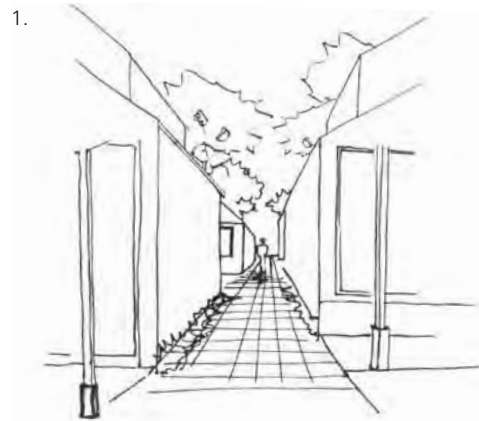
Acceptable site coverage examples

### Performance Criteria:

- Maximum site coverage for single storey development 50%
- Maximum coverage of second storey (where permitted) 35% of site area
- Vehicular access way to rear of block not less than 3 metres in width. Non-trafficable pedestrian laneways should have a minimum width of 2 metres
- A minimum 6 metres landscaped buffer to houses at rear

*Note: permissible second storey floor area will be affected by other guidelines, particularly Guideline 1B: Height. See also Guidelines 2A: Landscape views; 3A Outdoor spaces.*

1. Gaps between buildings and set-back upper levels allow views to near and distant landscape.
2. Site coverage principles.
3. New development and consolidation should express the original allotment boundaries to retain the historical rhythm of the streetscape.
4. Site coverage should be managed so as to create the impression of a series of independent buildings.
5. Fragmented forms and gaps between buildings are encouraged to create views of borrowed landscape



# 1B

## Height: Design building forms to present a single storey impression to the street

### Principles:

- The predominance of single storey buildings contributes to the simplicity and informality of village character
- Single storey development is the preferred model throughout the village centre
- Developments in excess of 1 storey must have a single storey presentation to the street frontage and demonstrate use of good design to minimise detrimental impacts on the village character
- Upper levels, where permitted, must incorporate roof forms and setbacks that minimise their bulk
- The façades of upper levels, where permitted, must include windows, architectural details, and openings to reduce their solidity

### Performance Criteria:

- The development is a single storey development

OR

- The development is more than one storey

AND ALL OF THE FOLLOWING APPLY

- The total height of the development is no more than 8.5 metres above natural ground level
- The upper storey is set back a sufficient distance from the frontage to ensure that the single storey component of the building facing Cook Street reads as the dominant built form element from the street. Eaves may encroach into the set back area.
- Single storey components of the building have a maximum height of 6 metres.

Second storeys must be setback so that the building presents as single storey when viewed from the street.



Avoid blank walls to upper levels which emphasise solidity and bulk.



Architectural detail adds interest to the upper gable of a traditional Flinders building

# 1C

## Architectural detailing: adopt an understated aesthetic

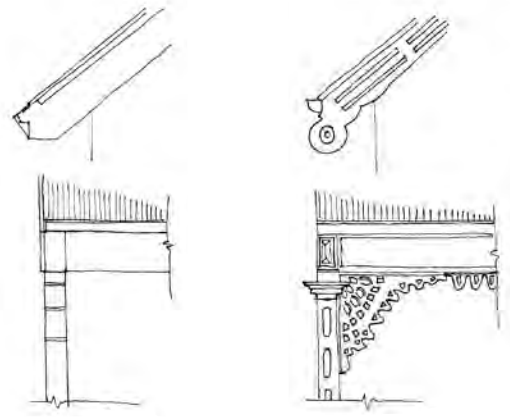
### Principles:

- The simplicity of village buildings contributes to village character
- Detailing and use of materials should be simple and restrained
- Modern construction systems, or unusual contemporary detailing, must not dominate the external appearance of buildings
- The visual clutter of services and plant equipment such as air conditioners must be minimised

*Note: More elaborate detail and materials may be appropriate in certain situations, to emphasise the status or function of a building or its parts – for example, civic buildings.*

### Performance Criteria:

- Conventional timber construction methods and details such as post and beam, simple trusses
- Use of modern structural systems should not be striking or obvious
- Traditional use of timber architectural details such as brackets and battens, or contemporary interpretations of these
- Well screened or discretely placed plant and equipment.



Simple detailing (left) suits the village context of simple timber buildings. Over elaborate 'heritage' detailing (right) is to be avoided.

Contemporary buildings should adopt conventional structural systems and simple details.



# 1D

## Materials: use simple materials

### Principles:

- Building materials are an important expression of village character
- Materials should be those commonly found in small Australian towns, such as timber, fibre-cement panels, and corrugated steel
- Use of render and masonry is not encouraged and must be justified to avoid an overly solid appearance

### Performance Criteria:

- Walls clad in timber weatherboard and/or light weight panels
- Roofing in traditional corrugated steel including 'Colorbond' in approved colours



New developments should respect the dominant traditional materials in Flinders: timber and corrugated steel.



Contemporary designs should utilise simple, traditional building materials such as weatherboards, cement sheet, and corrugated roofing.



# 2

## A town in the landscape

Flinders residents particularly value the landscape setting of the town. New development should respect and add to this rich legacy of landscape both within and outside the village centre.

# 2A

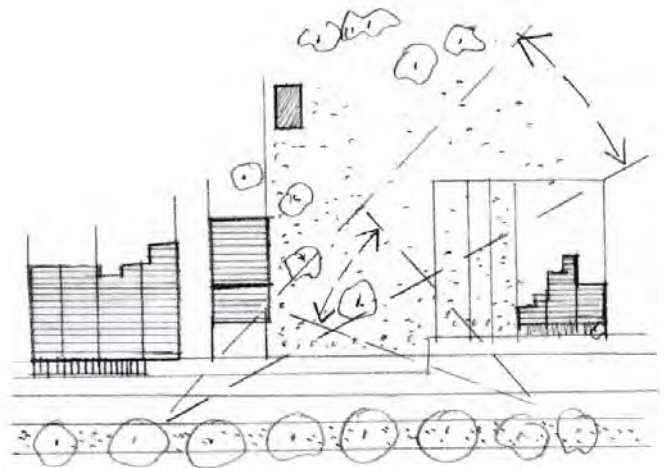
## Landscape views: maintain views of the landscape within and from Cook Street

### Principles:

- The sense of space, and views from within the village centre to distant vegetation, are important aspects of village character which contrast with more urban streetscapes.
- Use built form and gaps between buildings to provide views of vegetation at the rear of properties (on site and 'borrowed')
- Consider building height and roof forms so as to maintain skyline effect of distant trees
- Maintain view lines to coastal gardens and seascapes

### Performance Criteria:

- Gap/s between proposed development and adjoining site, or within development, providing sightline to rear landscaping (on site or 'borrowed') in compliance with Guideline 1A: Development Density
- Variations in roof profile that provide sightlines to distant trees
- Siting and design of building does not restrict existing views to distant landscape, particularly the coast.

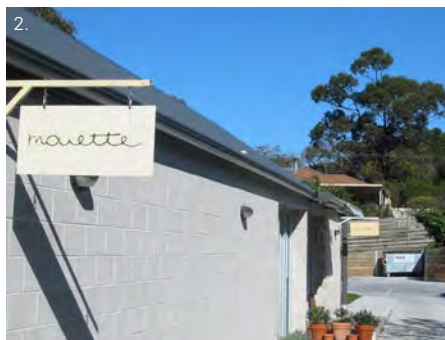


Current low density of development retains vistas of distant landscape and coast. New development should retain these view corridors where possible.

The slope of Cook Street towards Wood Street invites viewing down the street towards the Bass and Flinders cairn. New development should aim to frame and not detract from this view.



1. Views to distant landscape are an important aspect of the village character which new development should not restrict.
2. Gaps and roof forms should be used to facilitate views of rear landscaping.
3. The open spatial quality of the village centre is a valuable asset that should be maintained where possible.



# 2B

## Vegetation: incorporate generous vegetation in new development

### Guidelines:

- The numerous gardens and landscaped yards in the village reinforce its domestic character and scale
- Development should retain and protect existing vegetation on the site as much as possible
- Use front and side setbacks and courtyards as opportunities for gardens and trees
- Select trees to complement and extend the surrounding landscape character of Cook Street
- Select and locate trees and plantings to create attractive aesthetic relationships between vegetation and built form

### Performance Criteria:

*Note: refer also Guideline 1A: Development density*

- Canopy trees planted on site, and visible or partly visible from the street
- Gaps, courtyards and gardens to have plantings covering a minimum of 30% of their area
- Species selection complements surrounding landscape types
- Mature growth habit of canopy trees indicated on elevation drawings and perspectives to demonstrate relationship to built form
- Ensure sufficient permeable area to protect root zones

1. Hard surfaces should not dominate courtyards and open spaces, but be framed and softened by landscaping.

2&3. Flinders village has some attractive examples of trees that frame and complement buildings.

4. Gardens reinforce the domestic character and scale of the village centre.





# 2C

## Topography: built form should not dominate the environment

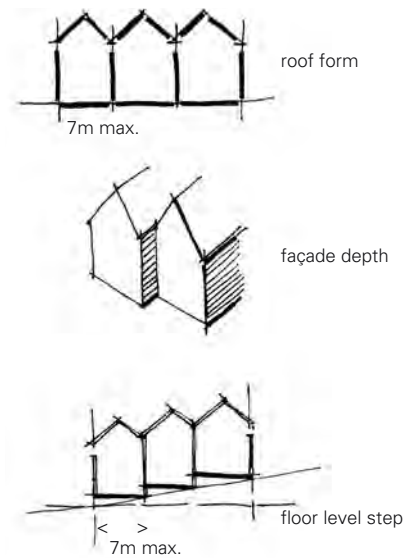
### Principles:

- The village nestles within the environment, rather than dominating it
- Buildings should step down with the slope of the street, rather than using extensive single level floor plates
- Wide frontages should be visually divided into discrete sections to avoid a monolithic appearance
- Gaps and laneways between developments should be used to complement the rhythm of the streetscape and provide glimpses of landscape

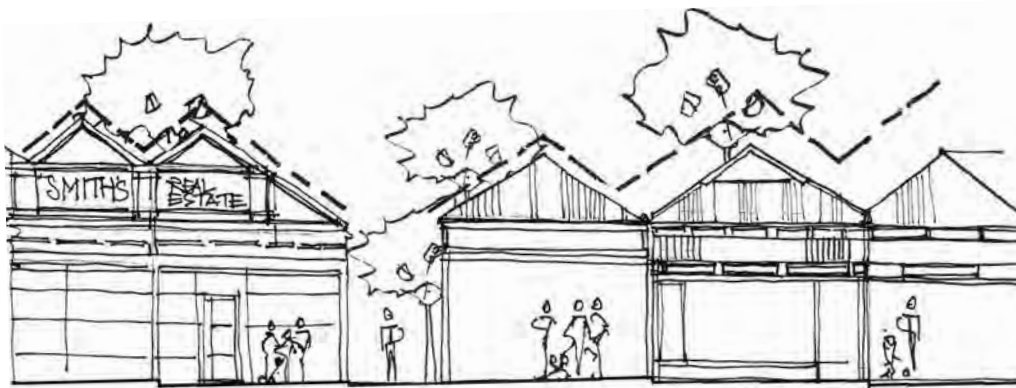
### Performance Criteria:

- Maximum width of street frontage on one floorlevel to be 7 metres
- Maximum width of street façade without setbacks or articulation to 7 metres
- Minimum width of gaps or non-trafficable laneways in compliance with Guideline 1A : Development Density

*Note: Where the total frontage of the development is less than 10 metres, there is no requirement to step or subdivide the frontage*



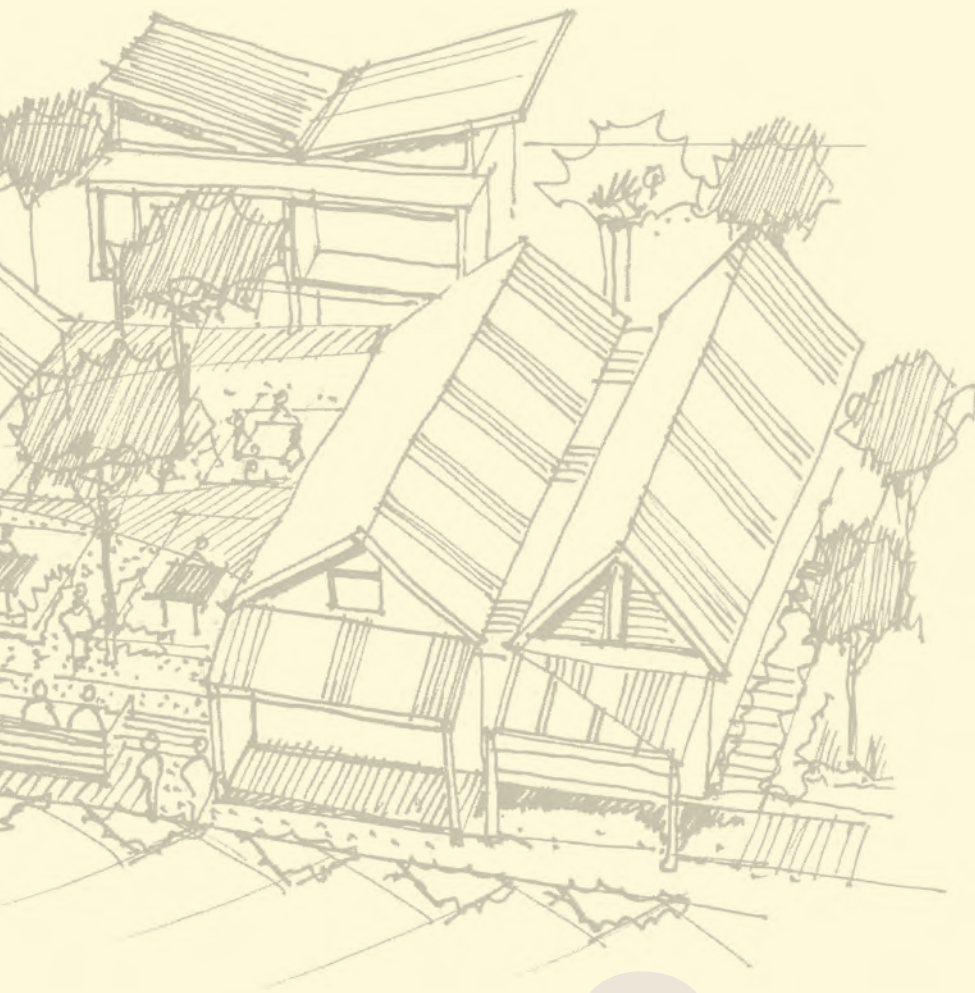
Stepping and break-up of facades



Stepped floor levels, distinct façades, and views of landscape all help to integrate built form into the environment.

Old and new buildings alike should integrate into the environment rather than dominating it.





# 3

## A sheltered place

Flinders is where it is because of its sheltered harbour. Ever since then it has offered shelter and comfort for its residents through its protective landscape and buildings. New developments should respect this central idea.

# 3A

## Outdoor spaces: provide comfortable and protected outdoor spaces as part of new developments

### Principles:

- The ability of people to stop and talk, and enjoy the street is central to village life
- Developments must incorporate gardens, courtyards or decks as integral parts of their design
- Where possible, open space should be located at the street frontage to give landscape to the street
- Where appropriate, on-site open spaces should be accessible to the public or used as entry points from the street
- Articulation and setback of built form is to be used to create sheltered, attractive spaces
- Designers should take advantage of site slope and orientation to ensure open spaces are sheltered and sunny

### Performance Criteria:

- Garden, courtyard or deck of area not less than 45 metres square on the street frontage
- Proportions of open spaces have a width to depth ratio of not more than 2:1.
- Open spaces to have plantings covering a minimum of 30% of their area
- All public areas to have all-ability access

Note: refer also criteria under guidelines

1A: Development density; 2B Vegetation



Courtyards and gardens at the front of developments can act as attractive entries and transition spaces between buildings and the street



A well designed courtyard should be sheltered, sunny and accessible to all.

# 3B

## Verandahs and entries: use building elements to provide weather protection for public and occupants

### Principles:

- The provision of shelter from wind, rain and sun has a major impact on the ability of people to enjoy the village centre
- Building exteriors should be designed to protect users and the public from wind, rain and sun exposure.
- Verandahs should be incorporated into the façade design of developments, and shelter the public footpath where development extends to the front boundary
- Building entries should be recessed to provide protected entry points

### Performance Criteria:

- Verandah covering the public footpath for no less than 50% of the width of the development
- Entry to front section of development through recessed entry, protected courtyard, or other protected area
- Eave overhangs in the range 450 – 600 mm
- Use of other architectural devices to shade and protect users and/or the public

Notes: Verandahs must be provided for 100% of the width of the development where the total frontage is 10 metres or less. Refer also Guideline 3C: Sheltering roofs



Shelter from the elements



Traditional Flinders buildings feature protected entries and other effective ways of sheltering users and the public.

# 3C

## Roof forms: adopt sloping roof forms which express the notion of shelter

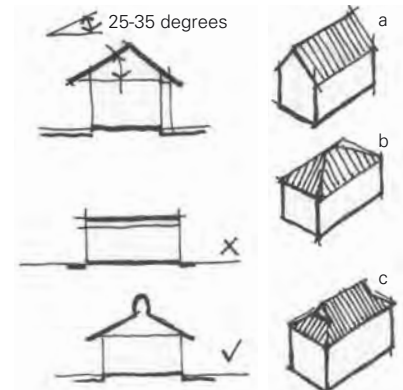
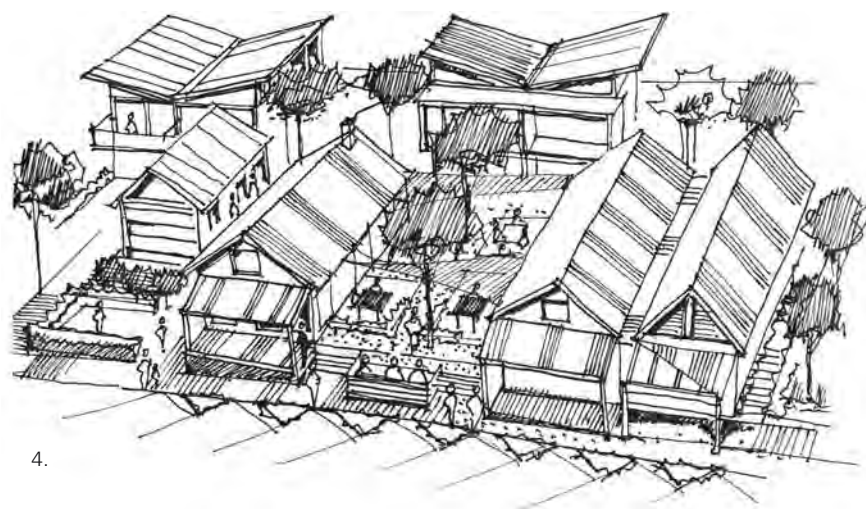
### Principles:

- As well as being functional, roofs have a symbolic role, expressing the idea that the village is a place that provides shelter
- Roofs throughout the village centre should be pitched, hip or gambrel roofs.
- Flat roofed buildings are generally unacceptable as their hard and blocky appearance does not support the village character theme of 'shelter'.
- Roof slopes should be similar to traditional building roofs in the village centre

*Note: sloping roof designs other than conventional pitched or hip roofs may be considered in parts of developments set back from the street, if the primary presentation to the street is conventional, and design strategies are employed to avoid aesthetically jarring, out-of-character impacts.*

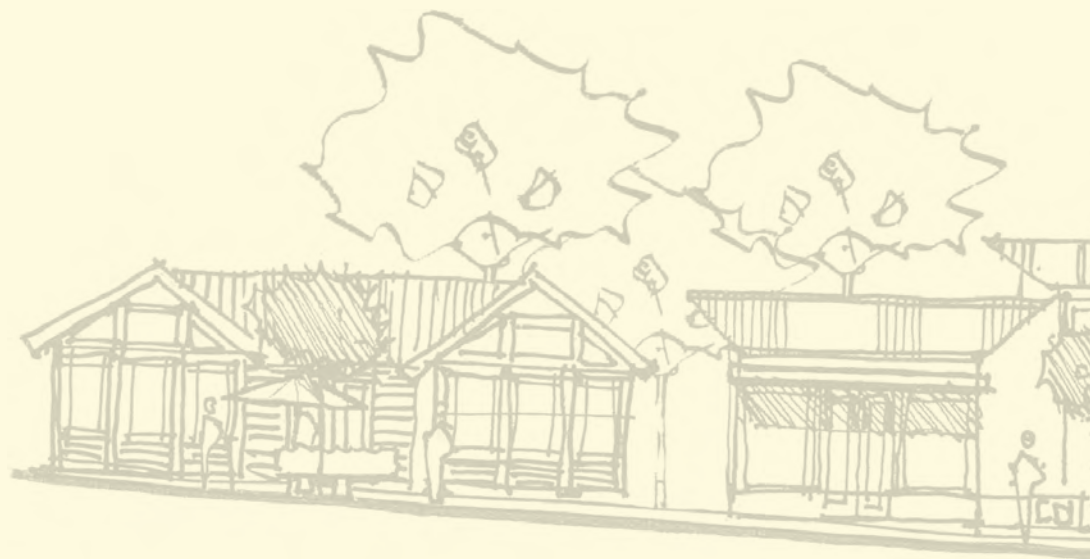
### Performance Criteria:

- Pitched, hip and/or gambrel roofs
- Roof slope in the range 25 – 35 degrees



Acceptable and unacceptable roof types  
 a. pitched roof  
 b. hipped roof  
 c. gambrel or half-gabled roof

1. Gable roofs help to emphasize the smaller scale of frontages in a subdivided streetscape
2. Traditional roof forms are preferred because they express the character theme of 'shelter', in common with Flinders' existing buildings.
3. Undulating roof forms provide an attractive contrast to the verticality of tree trunks.
4. Contemporary roof forms may be acceptable if well set back from the street.



# 4

## Gathering and Community

Towns are places where people gather. Flinders has a distinctive gathering focus, around the Post Office, the General Store, hall and park. New development should encourage social interaction in the street.

# 4A

## Gathering points: integrate community and business activity along Cook Street

### Principles:

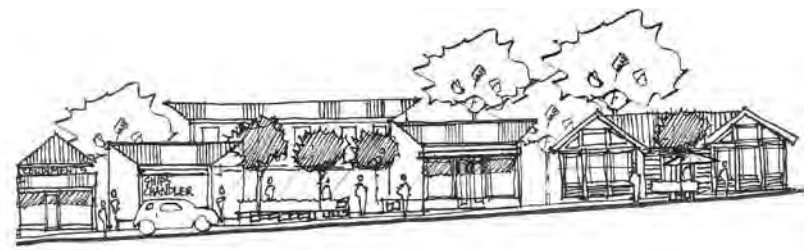
- The life of the village depends on concentrating commercial and public functions there
- The village store and Post Office are key public gathering places and their setting should not be compromised
- Commercial activity should be concentrated in the village centre and not in locations that will compete with the village centre
- Business activities which generate pedestrian movement and street activity should be encouraged in the village centre
- Active building uses and window displays should be located at the street frontage
- Developments should facilitate easy and comfortable pedestrian movement between their frontage and adjacent sites



Commercial activity should support the main street as a key place for people to gather and interact.

### Performance Criteria:

- Development is located within village centre
- Site has an active frontage for not less than 66% of the width of the site
- Active uses are concentrated at the front of the development
- Development helps to concentrate business activity in Cook Street



Active uses along the street frontage encourage human activity and are good for business.

# 4B

## Active frontages: encourage social interaction through building design

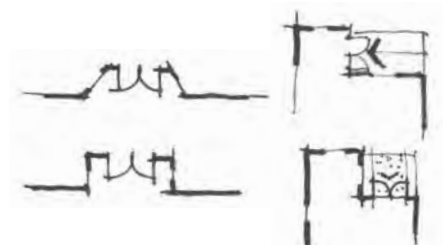
### Principles:

- For people to feel that they belong to the village, its buildings have to be accessible and inviting
- Developments should be designed so as to maximise the opportunities for visual and pedestrian interaction with the street
- Building entries should provide places to stop talk and sit.
- Covered areas should be provided in the form of verandahs over and adjacent to the footpath
- Where feasible, developments should facilitate pedestrian movement to public open spaces

### Performance Criteria:

- Development has display windows to the street frontage
- Building has obvious entry on the street frontage
- Entry is covered and provides space to stand or sit

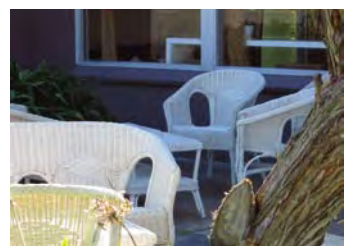
Refer also Guidelines 3A: Outdoor spaces; 3B: Verandahs and entries.



Covered entry design options



Display windows, expressive doorways, and places to sit encourage social interaction and create interest.



Verandahs and outdoor seating create social opportunities in Flinders village.



# 5

## A place to visit

Amongst the first buildings at Flinders was a store. Ever since, people have been coming to the town for daily needs and enjoyment. Holidaying and tourism are now important activities. Development must reinforce the quality of the village centre and its visual appeal to locals and visitors alike.

# 5A

## Sympathetic streetscapes: ensure form and design of buildings supports the quality of the street

### Principles:

- A village develops its character gradually, through sympathetic addition of new elements to the old
- Building and landscape design must consider the entire streetscape and how the new development will fit in to its context
- Developments must strive for the village scale and feel described in this Guide
- Façade designs must display a high level of architectural quality and appropriateness in their scale, form, detailing and materials
- There should be a high degree of visual interaction between the street, courtyards, decks, balconies and interiors.

### Performance Criteria:

- Applications should include provision of a high quality context analysis, with ample visual content accurately describing the visual relationship of the development to the streetscape
- Street elevations should complement neighbouring buildings and the streetscape in scale and form
- Interface between buildings and the street is visually open and interactive
- Compliance with the other guidelines in this Guide.



The village centre streetscape is domestic in character and scale. New development must consider this context.

# 5B

## Adaptive re-use of buildings: retain and adapt existing buildings for new uses wherever possible

### Principles:

- Existing village buildings generally possess character qualities that cannot be easily replicated in a modern building
- Existing buildings should be retained and adapted to new uses wherever possible
- Additions and alterations to enable viable use of existing buildings should be encouraged, so long as they complement existing character and scale
- Alterations to front gardens and street frontages should be kept to a minimum

*Note: some existing buildings are out of character. In these cases, alterations to make their street presentation more sympathetic are encouraged. In some cases, replacement may be an acceptable option if re-configuring the existing building is unrealistic.*

### Performance criteria:

- Existing building is retained on site and re-used
- Alterations to existing buildings do not diminish their contribution to the character of the street
- Front façades and gardens are retained and restored OR
- Out of character façades are redesigned to complement village character



1a.

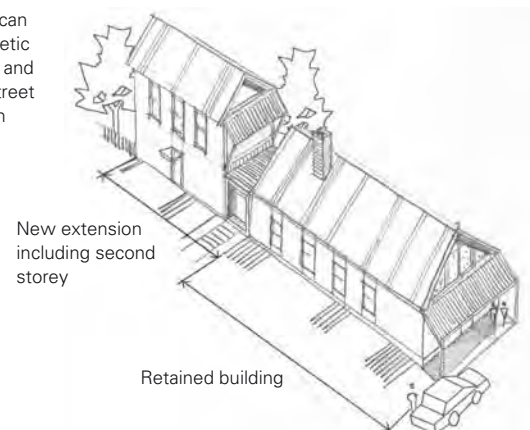
1. Adapting buildings for new uses gives businesses a ready-made image and conserves village character.



2.

2. Some buildings do not currently support the character of the street and could be altered to be more sympathetic.

Extensions can be sympathetic in character and retain the street presentation





# 5C

## Signage: integrate signage with built form and landscaping

### Principles:

- Advertising signs and displays are by their nature highly visible and must be carefully designed to complement village character
- Attached signage must be designed as an integrated part of the building's form and façade, even if added at a later time
- Free-standing signs must be carefully designed to complement the scale and landscaping of the development
- Materials, colours, and design of signs must complement the character of the village streetscape

Note: refer also guideline 5D: Colour.

Self-illuminated (neon) signs are unacceptable.

### Performance Criteria:

- Attached signage sits within the outline of the building, is proportioned to sit attractively on the façade, and does not dominate the building
- Freestanding signs are sited and sized to complement the streetscape, are primarily aimed at pedestrians, and do not draw excessive attention to one site
- Signs are painted in appropriate colours and not self-illuminated.

Note: Refer also Guideline 5D: Colour

Examples of preferred signage locations and scale



Examples of poorly located or sized signs



1. Here, both old and new style signs sit comfortably within the building façades.
2. This sign sits within the building form and its colour and style complements the village character.
3. Freestanding signs should relate to the scale of the pedestrian, like this one.



# 5D

## Colour: use colours that are appropriate to a traditional Australian seaside village

### Principles:

- Colour is important aspect of village character because it can evoke particular moods and feelings, and help create visual unity
- Colours used must belong to a harmonious 'family' of colours, based on the village's heritage character buildings
- Colours used should be those found in buildings of the Federation, Edwardian, and inter-war periods in Australia
- Colours drawn from places that are very different from Flinders should be avoided

*Note: use of brighter colours in the immediate setting of cafes, etc., may be appropriate to evoke a seaside village atmosphere.*

### Performance Criteria:

- Wall colours are in shades of off-white, cream, buff, biscuit, or pale green
- Trim and details are picked out in deep reds, mid greens, off white, buff, and blue
- Roofing is unpainted galvanised steel or a similar 'Colorbond' colour

Refer also Guideline 1D: Materials.

Examples of village buildings in a harmonious palette of traditional colours



